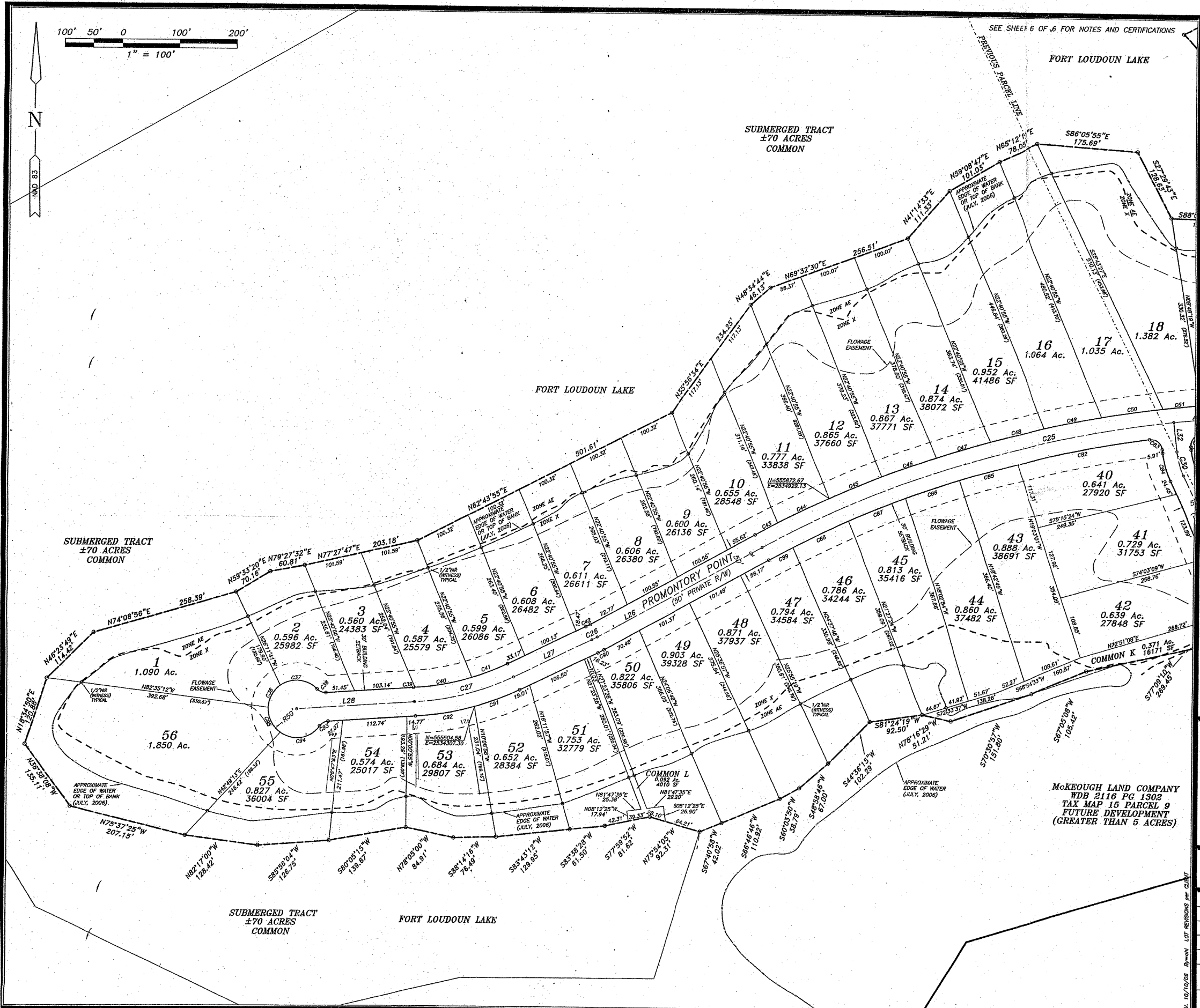
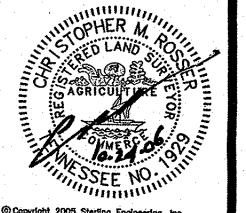


NAD 83



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1017 HAMPSHIRE DRIVE
MARYVILLE, TENNESSEE
37801-3525
P.O. BOX 4878
MARYVILLE, TENNESSEE
37802-4878
PHONE: VOL-984-3905
FAX: VOL-981-2815
www.sterling.us.com

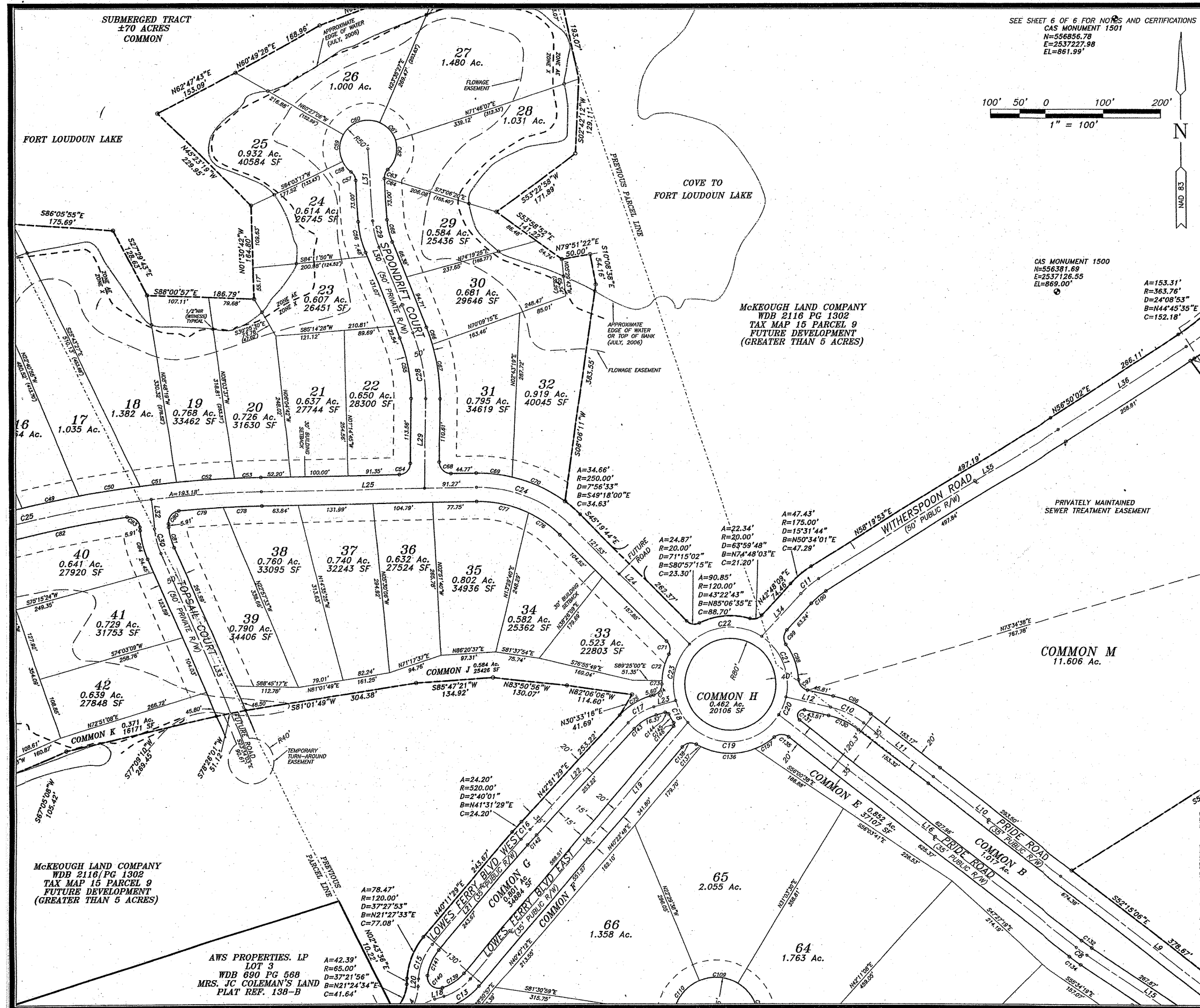
FINAL SUBDIVISION PLAT
LOWE'S FERRY
PHASE ONE
McKEOUGH LAND COMPANY
LOUISVILLE, TN




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SHEET	FS-1
DESIGNED:	RNR
DRAWN:	AHL
CHECKED:	CMR
DATE:	10-2-06
SCALE:	1" = 100'
DRAWING:	5328-FS
PROJECT NO.:	SEI#5328

Recorded 11/31/06 Map File 237118




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 37802-4878
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FINAL SUBDIVISION PLAT SHEET 2 OF 6
LOWE'S FERRY
PHASE ONE
 McKEOUGH LAND COMPANY
 LOUISVILLE, TN



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REV. 10/10/08 By: mhl LOT REVISIONS PER CLIENT.

SHEET
FS-2

DESIGNED:	RNR
DRAWN:	AHL
CHECKED:	CMR
DATE:	10-2-06
SCALE:	1" = 100'
DRAWING:	5328-FS
PROJECT NO.:	SEI#5328

SEE SHEET 6 OF 6 FOR NOTES AND CERTIFICATIONS
 100' 50' 0 100' 200'
 1" = 100'



SINCE 1979

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 ENGINEERING, INC.

**LAND SURVEYING
 CIVIL ENGINEERING
 ARCHITECTURE
 LAND PLANNING**

1017 HAMPSHIRE DRIVE
 MARYVILLE, TENNESSEE
 37801-3525

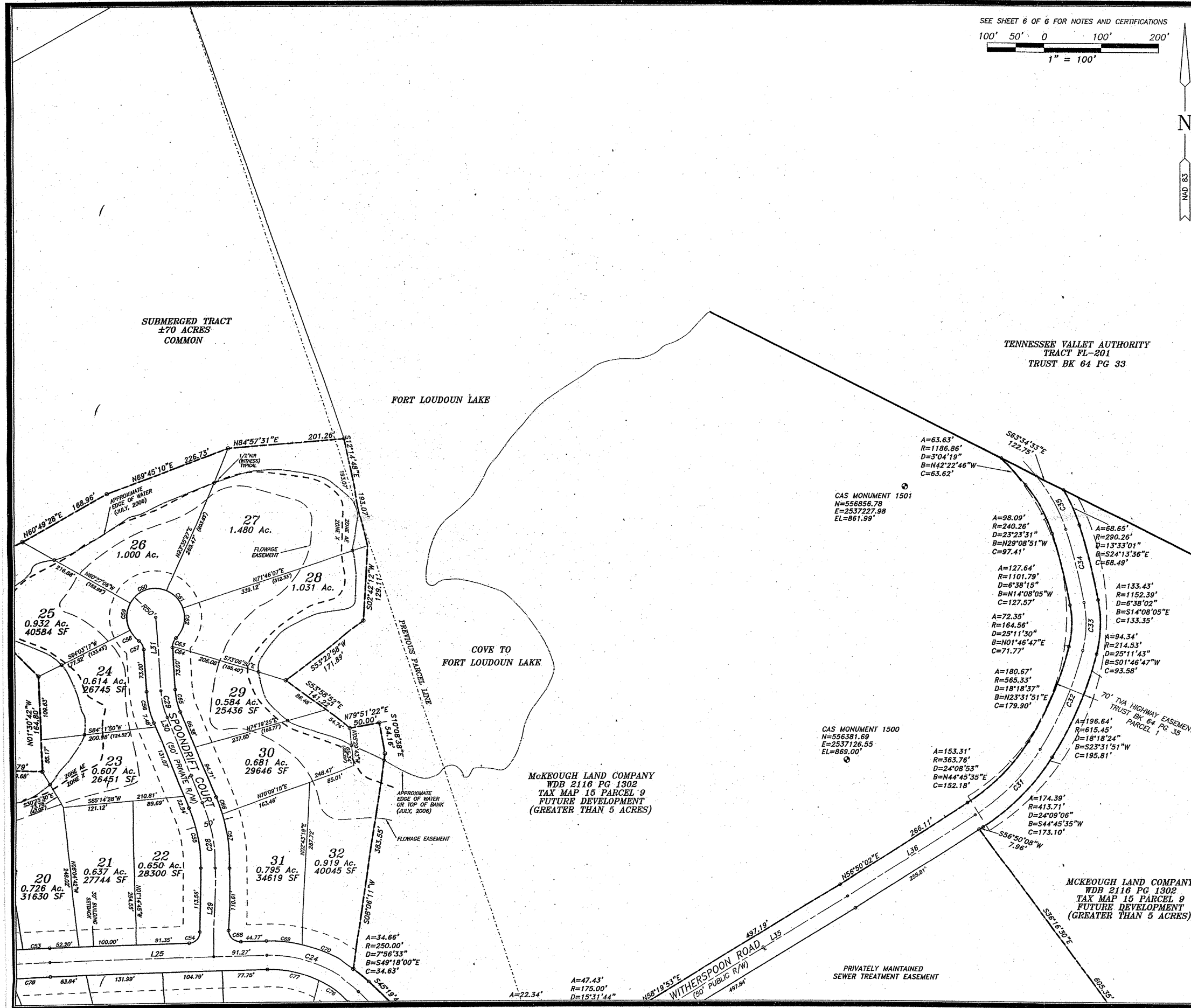
P.O. BOX 4878
 MARYVILLE, TENNESSEE
 37802-4878

PHONE: VOL-984-3905
 FAX: VOL-981-2815
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SHEET 3 OF 6

FINAL SUBDIVISION PLAN
LOWE'S FERRY
PHASE ONE
 MCKEOUGH LAND COMPANY

LOUISVILLE, TN



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SHEET
FS-3

DESIGNED:	RNR
DRAWN:	AHL
CHECKED:	CMR
DATE:	10-2-06
SCALE:	1" = 100'
DRAWING:	5328-FS
PROJECT NO.:	SEI#5328

Recorded 11/3/06 Map File 237aB

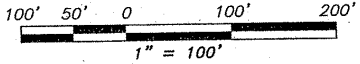
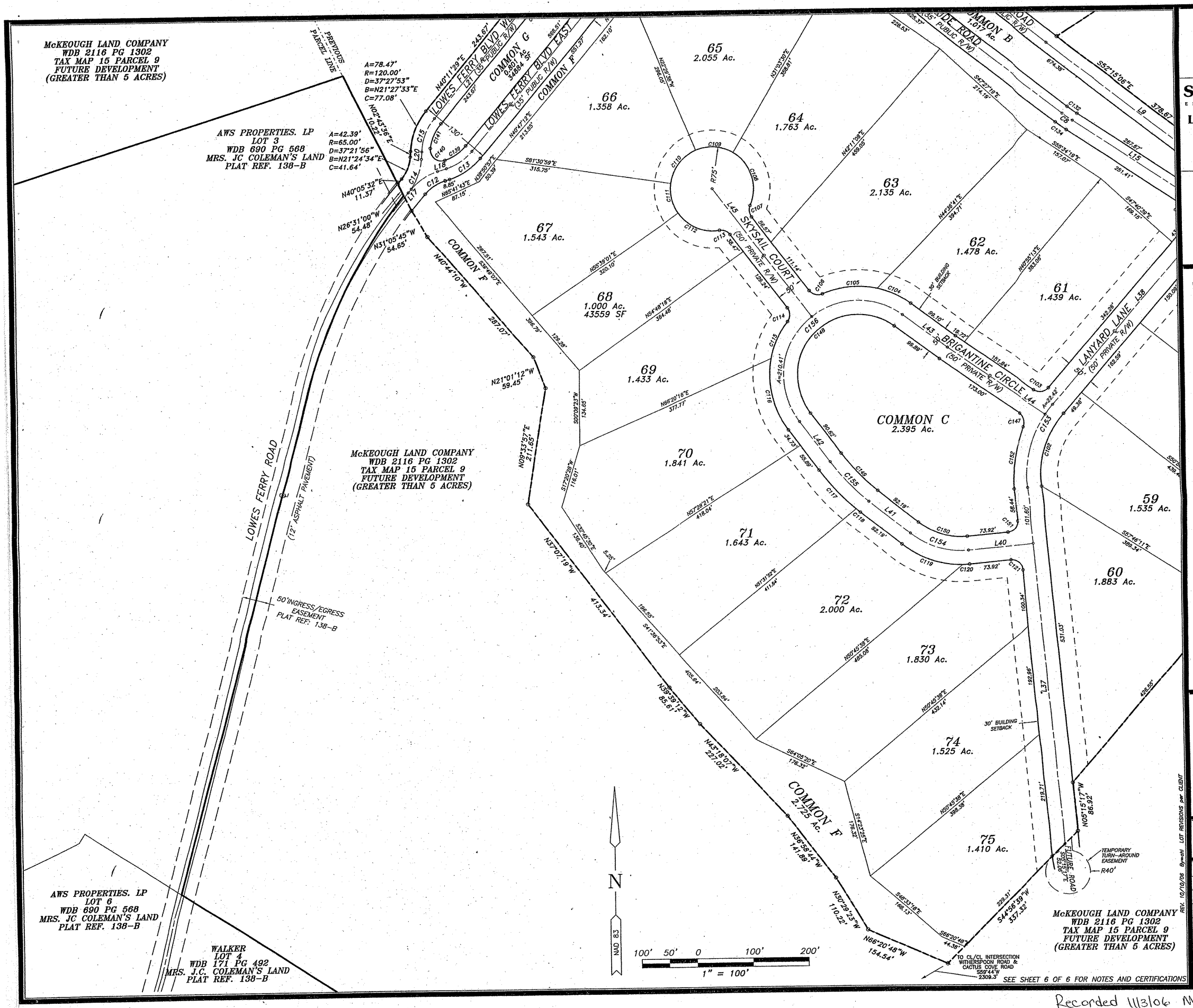
McKEOUGH LAND COMPANY
WDB 2116 PG 1302
TAX MAP 15 PARCEL 9
FUTURE DEVELOPMENT
(GREATER THAN 5 ACRES)

AWS PROPERTIES, LP
LOT 3
WDB 690 PG 568
MRS. J.C. COLEMAN'S LAND
PLAT REF. 138-B

McKEOUGH LAND COMPANY
WDB 2116 PG 1302
TAX MAP 15 PARCEL 9
FUTURE DEVELOPMENT
(GREATER THAN 5 ACRES)

AWS PROPERTIES, LP
LOT 6
WDB 690 PG 568
MRS. J.C. COLEMAN'S LAND
PLAT REF. 138-B

WALKER
LOT 4
WDB 171 PG 492
MRS. J.C. COLEMAN'S LAND
PLAT REF. 138-B



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SHEET 4 OF 6

FINAL SUBDIVISION PLAT
**LOWE'S FERRY
PHASE ONE**
McKEOUGH LAND COMPANY

LOUISVILLE, TN



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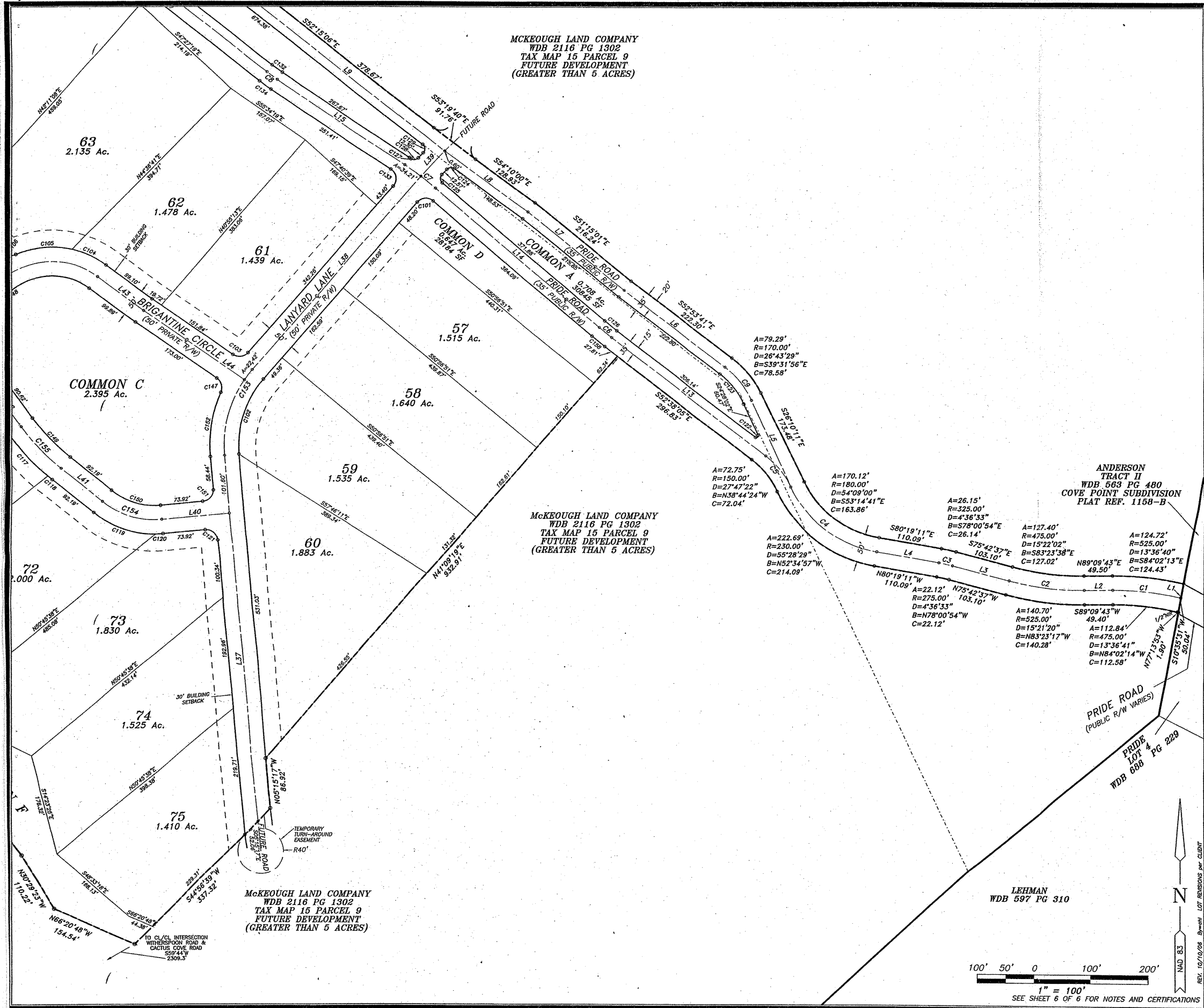
SHEET
FS-4

DESIGNED:	RNR
DRAWN:	AHL
CHECKED:	CMR
DATE:	10-2-06
SCALE:	1" = 100'
DRAWING:	5328-FS
PROJECT NO.:	SEI#5328

McKEOUGH LAND COMPANY
WDB 2116 PG 1302
TAX MAP 15 PARCEL 9
FUTURE DEVELOPMENT
(GREATER THAN 5 ACRES)

SEE SHEET 6 OF 6 FOR NOTES AND CERTIFICATIONS

Recorded 1113106 Map File 2373A



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SHEET 5 OF 6

FINAL SUBDIVISION PLAT
LOWE'S FERRY
PHASE ONE
MCKEOUGH LAND COMPANY

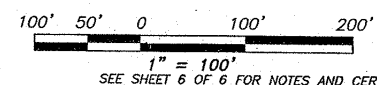
LOUISVILLE, TN



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SHEET
FS-5

DESIGNED:	RNR
DRAWN:	AHL
CHECKED:	CMR
DATE:	10-2-06
SCALE:	1" = 100'
DRAWING:	5328-FS
PROJECT NO.:	SEI#5328



NAD 83
REV. 10/10/06 By: ahl LOT REVISIONS PER CLIENT

Recorded 113106 Map File 2373B

SURVEYOR'S NOTES:

- 1. 1/2" new iron rods will be set at all lot and boundary corners...
2. Drainage and utility easements shall be 5 feet on each side of all interior lot lines...
3. Front Building setback shall be 30 feet from all street rights-of-way...

CITY OF LOUISVILLE, TENNESSEE

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plot shown herein has been found to comply with the subdivision regulations for Louisville, Tennessee...

Signature: Shelby Marshall 11-3-06
Secretary, Planning Commission

CERTIFICATION OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent...

Owner: [Signature] 11/2/06
Date

Owner: [Signature] Date

Owner: [Signature] Date

CERTIFICATE OF ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Louisville Planning Commission...

Registered Land Surveyor: [Signature] 10/24/06
Date

CERTIFICATION OF APPROVAL OF ROAD NAMES AND PROPERTY NUMBERS (E-911)

I hereby certify that (1) the names of existing public roads shown on this subdivision plot are correct, (2) the names of any new roads, whether public or private, do not duplicate any existing names...

Signature: Orrino M. Johnson 10-31-06
Date

CERTIFICATION OF THE ELECTRICAL UTILITY SERVICE

The property shown on this subdivision plot is within the service area of the East Loudon Electric Cooperative. The following condition(s) apply: Lots 1-75 are served by existing powerlines.

Note: In any of the above instances, extension of the service connection is the responsibility of the individual lot owner...

Signature: [Signature] Exp. Dept. 10/31/06
Date

CERTIFICATION OF THE APPROVAL OF WATER UTILITIES

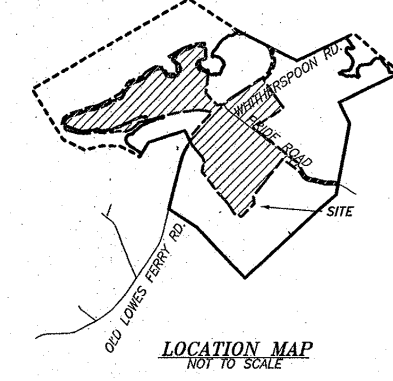
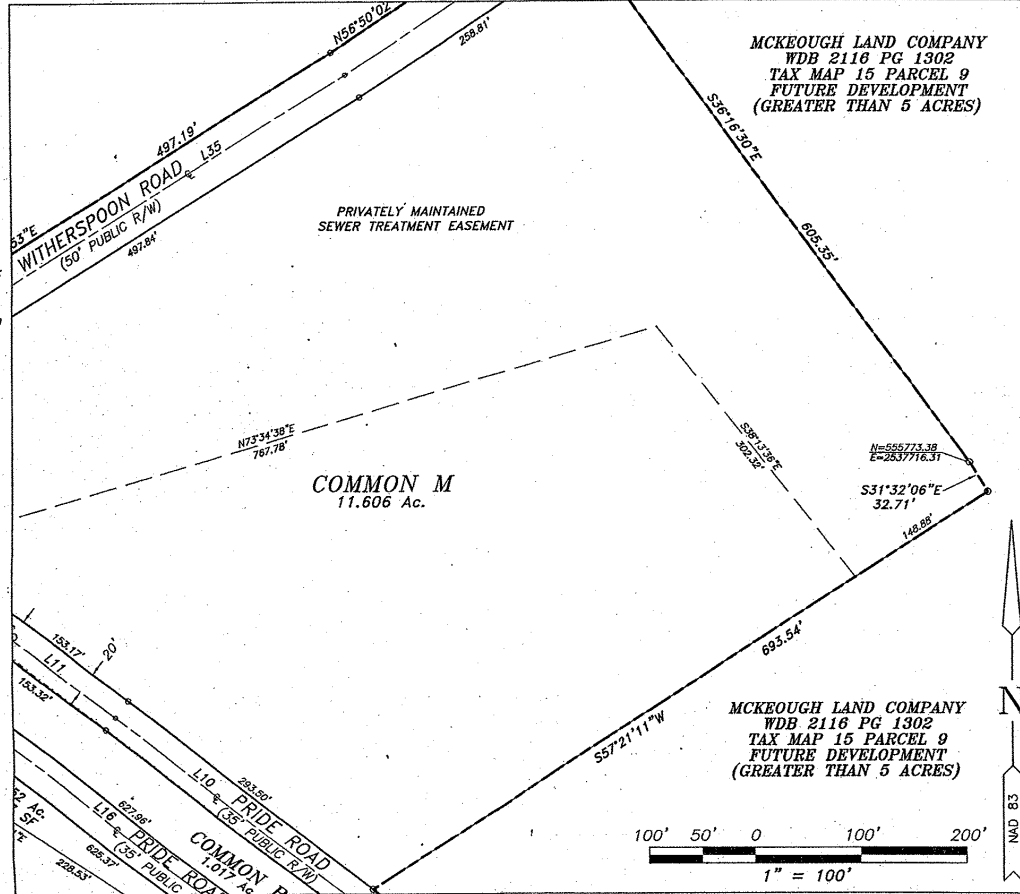
I hereby certify that the water improvements have been installed in an acceptable manner and according to the specifications of the Blount County Regional Land Development Regulations...

Manager, South Blount County Utility District 10-31-06
Date

CERTIFICATION OF APPROVAL OF SANITARY SEWER SYSTEM

I hereby certify that the sanitary sewer system has been approved by T.D.E.C. and proper provisions for the installation of the system have been made.

Tennessee Waste Water Systems, Inc. 10/31/06
I hereby certify that this is Category I survey, and the ratio of precision of the unadjusted survey is 1:34,035...
10/24/06
Date



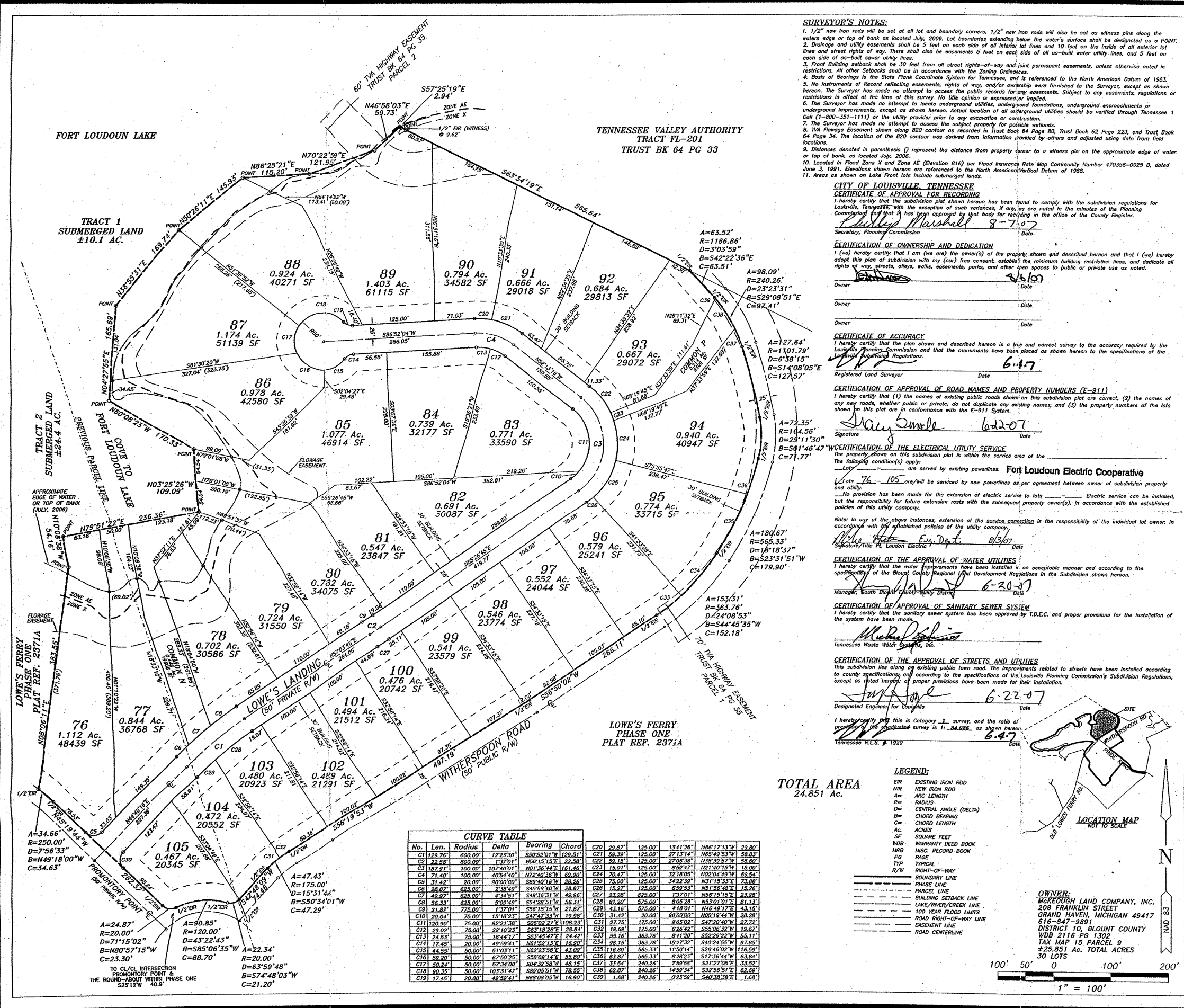
LEGEND:
EIR EXISTING IRON ROD
NIR NEW IRON ROD
A= ARC LENGTH
R= RADIUS
D= CENTRAL ANGLE (DELTA)
B= CHORD BEARING
C= CHORD LENGTH
Ac. ACRES
SF SQUARE FEET
WDB WARRANTY DEED BOOK
MRB MISC. RECORD BOOK
PG PAGE
TYP TYPICAL
R/W RIGHT-OF-WAY
CENTERLINE CENTERLINE
BOUNDARY LINE BOUNDARY LINE
PHASE LINE PHASE LINE
PARCEL LINE PARCEL LINE
BUILDING SETBACK LINE BUILDING SETBACK LINE
LAKE/RIVER/CREEK LINE LAKE/RIVER/CREEK LINE
100 YEAR FLOOD LIMITS 100 YEAR FLOOD LIMITS
ROAD RIGHT-OF-WAY LINE ROAD RIGHT-OF-WAY LINE
EASEMENT LINE EASEMENT LINE
ROAD CENTERLINE ROAD CENTERLINE

CURVE TABLE, CURVE TABLE (CONT'D), LINE TABLE. Multiple tables containing curve data (No., Len., Radius, Delta, Bearing, Chord) and line bearings.

CERTIFICATION OF THE APPROVAL OF STREETS AND UTILITIES
This subdivision lies along an existing public town road... The improvements related to streets have been installed according to county specifications...

OWNER: MCKEOUGH LAND COMPANY, INC. 208 FRANKLIN STREET GRAND HAVEN, MICHIGAN 49417 616-847-9891 DISTRICT 10, BLOUNT COUNTY WDB 2116 PG 1302 TAX MAP 15 PARCEL 9 ±113.115 Ac. TOTAL ACRES 75 LOTS

STERLING ENGINEERING, INC. LAND SURVEYING CIVIL ENGINEERING ARCHITECTURE LAND PLANNING. SHEET 6 OF 6. LOWE'S FERRY PHASE ONE. MCKEOUGH LAND COMPANY. LOUISVILLE, TN. FS-6. DESIGNED: RNR DRAWN: AHL CHECKED: CMR DATE: 10-20-06 SCALE: 1" = 100' DRAWING: 5328-FS PROJECT NO: SEI#5328



SURVEYOR'S NOTES:

- 1/2" new iron rods will be set at all lot and boundary corners, 1/2" new iron rods will also be set as witness pins along the water's edge or top of bank as located July, 2006. Lot boundaries extending below the water's surface shall be designated as a POINT.
- Drainage and utility easements shall be 5 feet on each side of all interior lot lines and 10 feet on the inside of all exterior lot lines and street rights of way. There shall also be easements 5 feet on each side of all as-built water utility lines, and 5 feet on each side of as-built sewer utility lines.
- Front Building setback shall be 30 feet from all street rights-of-way and joint permanent easements, unless otherwise noted in restrictions. All other setbacks shall be in accordance with the Zoning Ordinance.
- Basics of Bearings is the State Plane Coordinate System for Tennessee, and is referenced to the North American Datum of 1983.
- No Instruments of Record reflecting easements, rights of way, and/or ownership were furnished to the Surveyor, except as shown hereon. The Surveyor has made no attempt to access the public records for any easements. Subject to any easements, regulations or restrictions in effect at the time of this survey. No title opinion is expressed or implied.
- The Surveyor has made no attempt to locate underground utilities, underground foundations, underground encroachments or underground improvements, except as shown hereon. Actual location of all underground utilities should be verified through Tennessee 1 Call (1-800-351-1111) or the utility provider prior to any excavation or construction.
- The Surveyor has made no attempt to access the subject property for possible wellheads.
- VA Floods Easement shown along 820 contour as recorded in Trust Book 64 Page 80, Trust Book 62 Page 223, and Trust Book 64 Page 34. The location of the 820 contour was derived from information provided by others and adjusted using data from field locations.
- Distances denoted in parenthesis () represent the distance from property corner to a witness pin on the approximate edge of water or top of bank, as located July, 2006.
- Located in Flood Zone X and Zone AE (Elevation 816) per Flood Insurance Rate Map Community Number 470356-0025 B, dated June 3, 1991. Elevations shown hereon are referenced to the North American Vertical Datum of 1988.
- Areas as shown on Lake Front lots include submerged lands.

**CITY OF LOUISVILLE, TENNESSEE
CERTIFICATE OF APPROVAL FOR RECORDING**

I hereby certify that the subdivision plat shown hereon has been found to comply with the subdivision regulations for Louisville, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission meeting that it has been approved by that body for recording in the office of the County Register.

Shirley Marshall 8-7-07
Secretary, Planning Commission

CERTIFICATION OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all rights way, streets, alleys, walks, easements, parks, and other open spaces to public or private use as noted.

Owner: *[Signature]* Date: 8/5/07

CERTIFICATE OF ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Louisville Planning Commission and that the monuments have been placed as shown hereon to the specifications of the Louisville Planning Commission.

[Signature] Date: 6-4-07
Registered Land Surveyor

CERTIFICATE OF APPROVAL OF ROAD NAMES AND PROPERTY NUMBERS (E-911)

I hereby certify that (1) the names of existing public roads shown on this subdivision plat are correct, (2) the names of any new roads, whether public or private, do not duplicate any existing names, and (3) the property numbers of the lots shown on this plat are in conformance with the E-911 System.

[Signature] Date: 6-22-07

CERTIFICATION OF THE ELECTRICAL UTILITY SERVICE

The property shown on this subdivision plat is within the service area of the following condition(s) apply:

___ Lots 76-105 are/will be serviced by new powerlines as per agreement between owner of subdivision property and utility.

___ No provision has been made for the extension of electric service to lots _____. Electric service can be installed, but the responsibility for future extension rests with the subsequent property owner(s), in accordance with the established policies of this utility company.

Note: In any of the above instances, extension of the service connection is the responsibility of the individual lot owner, in accordance with the established policies of the utility company.

[Signature] Date: 8/3/07
Manager, South Blount County Utility District

CERTIFICATION OF APPROVAL OF WATER UTILITIES

I hereby certify that the water improvements have been installed in an acceptable manner and according to the specifications of the Blount County Regional Land Development Regulations in the Subdivision shown hereon.

[Signature] Date: 6-20-07
Manager, South Blount County Utility District

CERTIFICATION OF APPROVAL OF SANITARY SEWER SYSTEM

I hereby certify that the sanitary sewer system has been approved by T.D.E.C. and proper provisions for the installation of the system have been made.

[Signature] Date: 6-22-07
Tennessee Waste Water Board, Inc.

CERTIFICATION OF THE APPROVAL OF STREETS AND UTILITIES

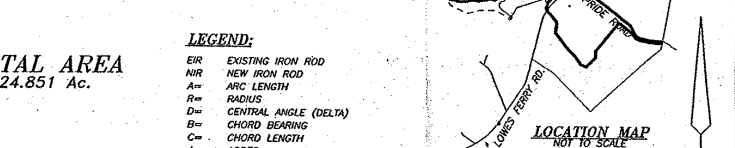
This subdivision lies along an existing public town road. The improvements related to streets have been installed according to county specifications and according to the specifications of the Louisville Planning Commission's Subdivision Regulations, except as noted hereon; or proper provisions have been made for their installation.

[Signature] Date: 6-22-07
Designated Engineer for Louisville

CERTIFICATION OF THIS SURVEY

I hereby certify that this is Category 1 survey, and the ratio of precision of this particular survey is 1:24,000, as shown hereon.

[Signature] Date: 6-4-07
Tennessee R.L.S. # 1929



LEGEND:

- ER EXISTING IRON ROD
- NR NEW IRON ROD
- A ARC LENGTH
- R RADIUS
- Δ CENTRAL ANGLE (DELTA)
- B CHORD BEARING
- C CHORD LENGTH
- Ac ACRES
- SF SQUARE FEET
- WB WARRAND DEED BOOK
- MRB MISC. RECORD BOOK
- PG PAGE
- TP TYPICAL
- R/W RIGHT-OF-WAY
- BOUNDARY LINE
- PHASE LINE
- PARCEL LINE
- BUILDING SETBACK LINE
- LANEWAY/STREET LINE
- 100 YEAR FLOOD LIMITS
- ROAD RIGHT-OF-WAY LINE
- EASEMENT LINE
- ROAD CENTERLINE

OWNER:
MCKEOUGH LAND COMPANY, INC.
208 FRANKLIN STREET
GRAND HAVEN, MICHIGAN 49417
616-847-9891
DISTRICT 10, BLOUNT COUNTY
WDB 2116 PG 1302
TAX MAP 15 PARCEL 9
±2.5 AC. TOTAL ACRES
30 LOTS

DESIGNED: RNR
DRAWN: AHL
CHECKED: CMR
DATE: 06/01/07
SCALE: 1" = 100'
DRAWING: 5328p2-FS
PROJECT NO. SEI#5328p2

CURVE TABLE

No.	Len.	Radius	Delta	Bearing	Chord
C1	128.76'	600.00'	123.30°	S52°52'01"W	128.51'
C2	22.56'	800.00'	137.91°	N58°15'15"E	22.58'
C3	187.81'	100.00'	107.40°	N01°36'44"E	161.46'
C4	71.40'	100.00'	40°54'40"	N72°40'36"W	69.90'
C5	31.42'	20.00'	90.00°	S89°40'16"W	28.28'
C6	28.87'	625.00'	278.99°	S45°40'47"W	28.87'
C7	49.97'	625.00'	43.51°	S48°36'31"W	49.96'
C8	56.33'	625.00'	5°08'48"	S54°28'51"W	56.31'
C9	21.87'	775.00'	137°01'	S58°15'15"W	21.87'
C10	20.04'	75.00'	15°16'23"	S47°42'13"W	19.98'
C11	129.80'	75.00'	92°11'38"	S80°02'27"E	108.33'
C12	29.02'	75.00'	22°10'23"	S63°18'28"E	28.84'
C13	24.53'	75.00'	18°44'12"	S83°45'47"E	24.42'
C14	17.45'	20.00'	49°58'41"	N61°52'13"E	16.90'
C15	44.55'	50.00'	51°03'11"	N62°33'50"E	43.09'
C16	58.20'	50.00'	67°50'25"	S58°09'14"E	56.80'
C17	50.24'	50.00'	57°34'00"	S04°32'58"W	48.15'
C18	80.35'	50.00'	103°31'47"	S85°05'51"W	78.55'
C19	17.45'	20.00'	49°58'41"	N68°08'09"W	16.90'
C20	28.87'	125.00'	125.00°	13°41'26"	29.80'
C21	58.38'	125.00'	125.00°	27°13'14"	58.83'
C22	58.15'	125.00'	125.00°	27°05'39"	58.69'
C23	15.01'	125.00'	65°42'	N21°40'15"W	15.00'
C24	70.47'	125.00'	32°18'05"	N02°04'49"W	68.54'
C25	75.00'	125.00'	34°22'39"	N31°15'33"E	73.88'
C26	15.27'	125.00'	69°53'	N51°28'48"E	15.26'
C27	23.28'	825.00'	137°01'	N58°15'15"E	23.28'
C28	81.20'	825.00'	8°05'28"	N53°10'01"E	81.13'
C29	43.16'	825.00'	4°18'01"	N46°48'17"E	43.15'
C30	31.42'	20.00'	90.00°	N02°18'24"W	28.89'
C31	27.75'	125.00'	8°05'02"	S47°20'40"W	27.72'
C32	19.69'	175.00'	62°42'	S55°06'32"W	19.67'
C33	55.16'	363.76'	8°41'20"	S52°29'22"W	55.11'
C34	98.15'	363.76'	152°32'	S40°24'55"W	92.85'
C35	116.80'	363.76'	119°01'4"	S26°40'02"W	116.58'
C36	63.87'	363.76'	62°23'	S17°36'44"W	63.64'
C37	33.54'	240.26'	7°59'58"	S21°27'05"E	33.52'
C38	62.87'	240.26'	14°59'34"	S32°56'51"E	62.89'
C39	1.68'	240.26'	0°23'59"	S40°38'38"E	1.68'



STERLING ENGINEERING, INC.
SINCE 1979

**LAND SURVEYING
CIVIL ENGINEERING
ARCHITECTURE
LAND PLANNING**

1020 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37801-3525

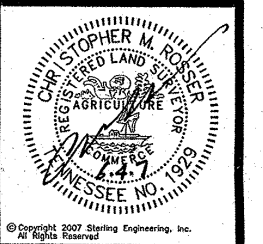
P.O. BOX 4878
MARYVILLE, TENNESSEE
37802-4878

PHONE: VOL-984-3905
FAX: VOL-981-2815
www.sterling.us.com

FINAL SUBDIVISION PLAT LOTS 76 THRU 105

**LOWE'S FERRY
PHASE TWO**

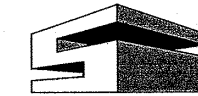
McKEOUGH LAND COMPANY LOUISVILLE, TN



SHEET FS

DESIGNED: RNR
DRAWN: AHL
CHECKED: CMR
DATE: 06/01/07
SCALE: 1" = 100'
DRAWING: 5328p2-FS
PROJECT NO. SEI#5328p2

Map file 2493B Recorded 8/7/07



SINCE 1979

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ENGINEERING, INC.

LAND SURVEYING
CIVIL ENGINEERING
ARCHITECTURE
LAND PLANNING

1020 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37801-3525

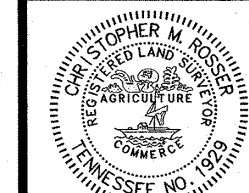
P.O. BOX 4878
MARYVILLE, TENNESSEE
37802-4878

PHONE: VOL-984-3905
FAX: VOL-981-2815
www.sterling.us.com

FINAL SUBDIVISION PLAT LOTS 124 THRU 158

LOWE'S FERRY PHASE THREE

McKEOUGH LAND COMPANY LOUISVILLE, TN



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SHEET
1 OF 2

DESIGNED: **RNR**

DRAWN: **AHL**

CHECKED: **CMR**

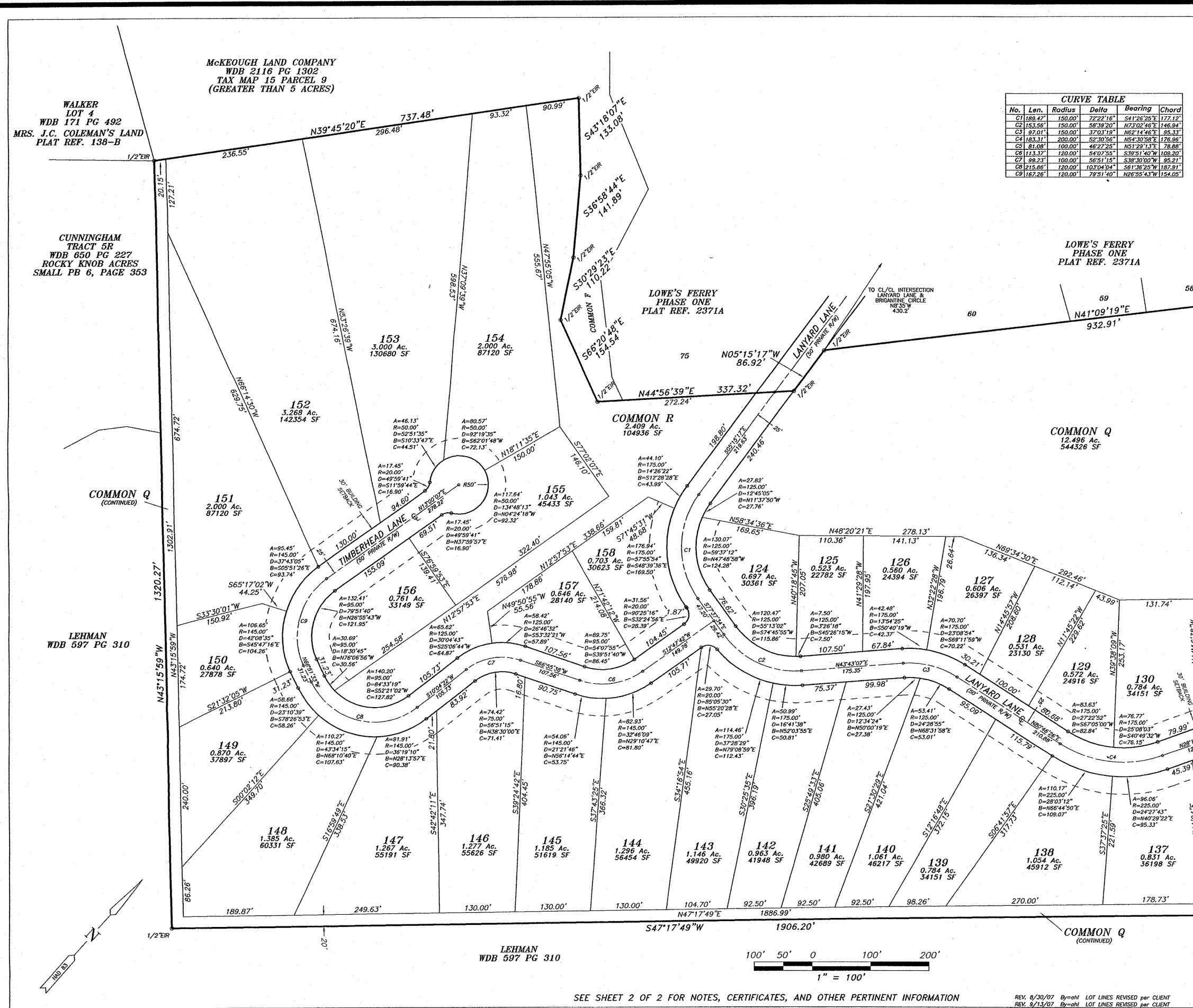
DATE: **08/29/07**

SCALE: **1" = 100'**

DRAWING: **5328p3-FS**

PROJECT NO.:

SEI#5328p3



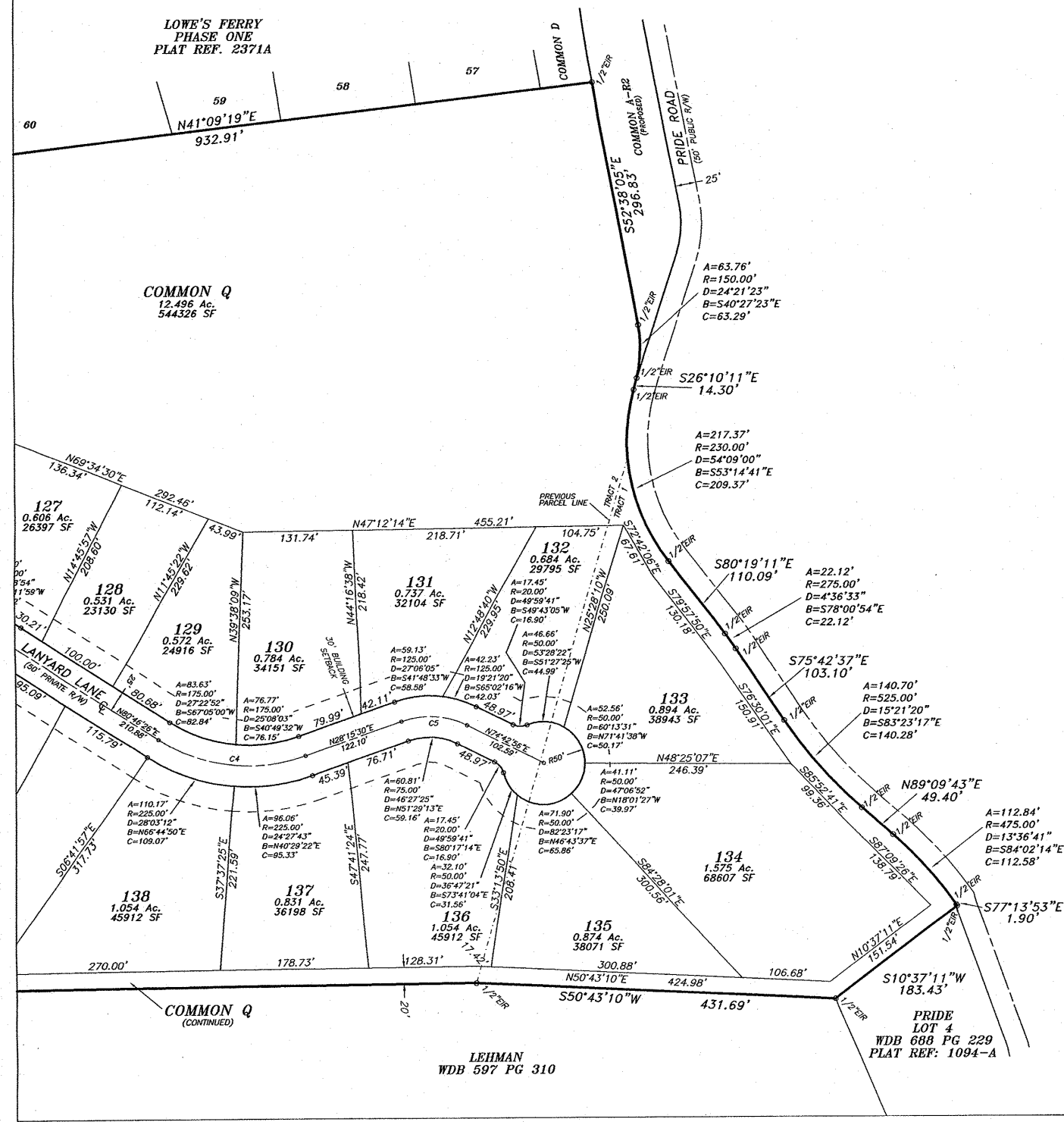
No.	Len.	Radius	Delta	Bearing	Chord
C1	189.47'	150.00'	72.2216°	S41°26'26"E	177.12'
C2	153.56'	150.00'	58.3920°	N23°02'46"E	146.94'
C3	87.01'	150.00'	37.0319°	N52°14'46"E	85.31'
C4	183.31'	200.00'	52.3056°	N54°30'58"E	176.88'
C5	81.08'	100.00'	46.2725°	N51°29'13"E	78.88'
C6	113.37'	120.00'	54.0753°	S39°51'40"W	109.20'
C7	89.23'	100.00'	55.5115°	S38°30'00"W	85.21'
C8	215.66'	120.00'	103°04'04"	S61°36'25"W	187.91'
C9	162.26'	120.00'	78.5140°	N26°55'43"W	154.05'

SEE SHEET 2 OF 2 FOR NOTES, CERTIFICATES, AND OTHER PERTINENT INFORMATION

REV. 8/30/07 By:ahl LOT LINES REVISED per CLIENT
REV. 9/13/07 By:ahl LOT LINES REVISED per CLIENT

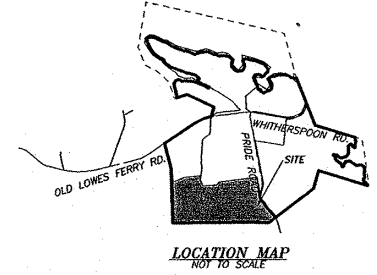
No.	Len.	Radius	Delta	Bearing	Chord
C1	189.47'	150.00'	72°22'16"	S41°26'25"E	177.12'
C2	153.56'	150.00'	58°39'20"	N73°02'46"E	146.84'
C3	92.01'	150.00'	37°03'19"	N62°14'46"E	95.33'
C4	183.31'	200.00'	52°30'56"	N44°30'58"E	178.86'
C5	81.08'	100.00'	46°27'25"	N51°29'13"E	78.88'
C6	113.37'	120.00'	54°07'25"	S39°51'40"W	109.20'
C7	89.23'	100.00'	56°51'15"	S38°30'00"W	85.21'
C8	215.85'	120.00'	103°04'04"	S61°36'25"W	182.91'
C9	167.26'	120.00'	79°51'40"	N26°55'43"W	154.05'

LOWE'S FERRY
PHASE ONE
PLAT REF. 2371A



LEGEND:

- EIR EXISTING IRON ROD
- NR NEW IRON ROD
- A= ARC LENGTH
- R= RADIUS
- D= CENTRAL ANGLE (DELTA)
- B= CHORD BEARING
- C= CHORD LENGTH
- SF SQUARE FEET
- WDB WARRANTY DEED BOOK
- MRB MISC. RECORD BOOK
- PG PAGE
- TYP TYPICAL
- RIGHT-OF-WAY BOUNDARY LINE
- PARCEL LINE
- BUILDING SETBACK LINE
- ROAD RIGHT-OF-WAY LINE
- ROAD CENTERLINE



CITY OF LOUISVILLE, TENNESSEE
CERTIFICATE OF APPROVAL FOR RECORDING
I hereby certify that the subdivision plat shown hereon has been found to comply with the subdivision regulations for Louisville, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved by that body for recording in the office of the County Register.

Secretary, Planning Commission _____ Date _____

CERTIFICATION OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all rights of way, streets, alleys, walks, easements, parks, and other open spaces to public or private use as noted.

Owner _____ Date _____

Owner _____ Date _____

Owner _____ Date _____

CERTIFICATE OF ACCURACY
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Louisville Planning Commission and that the monuments have been placed as shown hereon to the specifications of the Louisville Subdivision Regulations.

Registered Land Surveyor _____ Date _____

CERTIFICATION OF APPROVAL OF ROAD NAMES AND PROPERTY NUMBERS (E-911)
I hereby certify that (1) the names of existing public roads shown on this subdivision plat are correct, (2) the names of any new roads, whether public or private, do not duplicate any existing names, and (3) the property numbers of the lots shown on this plat are in conformance with the E-911 System.

Signature _____ Date _____

CERTIFICATION OF THE ELECTRICAL UTILITY SERVICE
The property shown on this subdivision plat is within the service area of the _____
The following condition(s) apply:
____ Lots _____ are served by existing powerlines.

____ Lots _____ are/will be serviced by new powerlines as per agreement between owner of subdivision property and utility.
____ No provision has been made for the extension of electric service to lots _____. Electric service can be installed, but the responsibility for future extension rests with the subsequent property owner(s), in accordance with the established policies of this utility company.

Note: In any of the above instances, extension of the service connection is the responsibility of the individual lot owner, in accordance with the established policies of the utility company.

Signature/Title Ft. Loudon Electric _____ Date _____

CERTIFICATION OF THE APPROVAL OF WATER UTILITIES
I hereby certify that the water improvements have been installed in an acceptable manner and according to the specifications of the Blount County Regional Land Development Regulations in the Subdivision shown hereon.

Manager, South Blount County Utility District _____ Date _____

CERTIFICATION OF APPROVAL OF SANITARY SEWER SYSTEM
I hereby certify that the sanitary sewer system has been approved by T.D.E.C. and proper provisions for the installation of the system have been made.

Tennessee Waste Water Systems, Inc. _____ Date _____

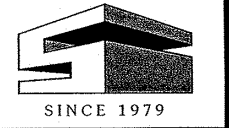
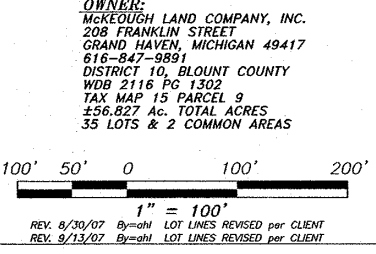
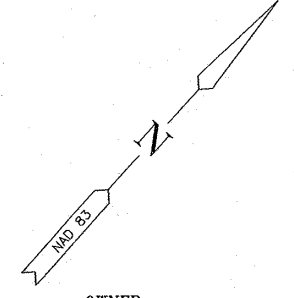
CERTIFICATION OF THE APPROVAL OF STREETS AND UTILITIES
This subdivision lies along an existing public town road. The improvements related to streets have been installed according to county specifications; and according to the specifications of the Louisville Planning Commission's Subdivision Regulations, except as noted hereon; or proper provisions have been made for their installation.

Designated Engineer for Louisville _____ Date _____

I hereby certify that this is Category I survey, and the ratio of precision of the unadjusted survey is 1: 34,035, as shown hereon.

Tennessee R.L.S. # 1929 _____ Date _____

SURVEYOR'S NOTES:
1. 1/2" new iron rods will be set at all lot and boundary corners, 1/2" new iron rods will also be set on the inside of all exterior lot lines and street rights of way located July, 2006. Lot boundaries extending below the water's surface shall be designated as a POINT.
2. Drainage and utility easements shall be 5 feet on each side of all interior lot lines and 10 feet on the inside of all exterior lot lines and street rights of way. There shall also be easements 5 feet on each side of all as-built water utility lines, and 5 feet on each side of as-built sewer utility lines.
3. Front Building setback shall be 30 feet from all street rights-of-way and joint permanent easements, unless otherwise noted in restrictions. All other Setbacks shall be in accordance with the Zoning Ordinances.
4. Basis of Bearings is the State Plane Coordinate System for Tennessee, and is referenced to the North American Datum of 1983.
5. No instruments of Record reflecting easements, rights of way, and/or ownership were furnished to the Surveyor, except as shown hereon. The Surveyor has made no attempt to access the public records for any easements. Subject to any easements, regulations or restrictions in effect at the time of this survey. No title opinion is expressed or implied.
6. The Surveyor has made no attempt to locate underground utilities, underground foundations, underground encroachments or underground improvements, except as shown hereon. Actual location of all underground utilities should be verified through Tennessee 1 Call (1-800-351-1111) or the utility provider prior to any excavation or construction.
7. The Surveyor has made no attempt to assess the subject property for possible wetlands.
8. Located in Flood Zone X per Flood Insurance Rate Map Community Number 470356-0025 B, dated June 3, 1991. Elevations shown hereon are referenced to the North American Vertical Datum of 1988.



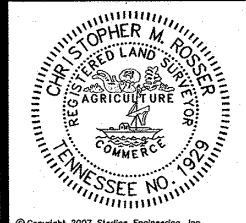
STERLING
ENGINEERING, INC.
LAND SURVEYING
CIVIL ENGINEERING
ARCHITECTURE
LAND PLANNING

1020 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37801-3525

P.O. BOX 4878
MARYVILLE, TENNESSEE
37802-4878

PHONE: VOL-984-3905
FAX: VOL-981-2815
www.sterling.us.com

FINAL SUBDIVISION PLAT LOTS 124 THRU 158
LOWE'S FERRY
PHASE THREE
MCKEOUGH LAND COMPANY LOUISVILLE, TN



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SHEET
2 OF 2

DESIGNED: **RNR**
DRAWN: **AHL**
CHECKED: **CMR**
DATE: **08/29/07**
SCALE: **1" = 100'**
DRAWING: **5328p3-FS**
PROJECT NO: **SEI#5328p3**

Map File 2530A Recorded 10/10/07